

# Community- Proposed Design Principles for Letchworth

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## **Publication**

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This document was created by Decarbonise Letchworth.

Decarbonise Letchworth is a community group. Among other matters of housing and transport, the group seeks to research, comment, report and advance critique, pursuant to the ongoing development of Letchworth Design Principles documents, which are edited and published in the public domain by Letchworth Garden City Heritage Foundation.

Decarbonise Letchworth acknowledges the original work of Letchworth Garden City Heritage Foundation, and the Foundation's efforts to engage the community in discussing the Design Principles, which led to this development draft. The structure and some parts of the original documents have necessarily been incorporated or modified for the purposes of comment and comparison. The group asserts that the resulting document is creative work constituting "fair use" of the original Design Principles documents.

Decarbonise Letchworth does not represent this document as asserting separate principles, nor represent that it describes measures likely to gain the Foundation's approval nor to achieve success with any appeal to the independent inspector or any other action. Any interested parties such as householders, designers, architects and builders should not place reliance on this document and are respectfully referred to the latest version of the Letchworth Heritage Foundation's Design Principles and its Planning Advisory Service.

## **Disclaimer**

These proposals to modify the Design Principles reflect aspirations and are only concerned with appearance. Decarbonising Letchworth cannot provide legal advice nor does the group accept any liability for the outcomes of any courses of action that may rely on this illustrative document. Decarbonise Letchworth does not provide design services and does not regard itself as a designer for the purposes of the Construction, Design and Management Regulations (2015) or the Building Safety Act (2022). You should seek professional advice in all aspects of any proposed development.

The reader agrees that no technical advice and no case-specific advice is given anywhere in this document. Alterations to buildings may attract consequential improvements which may not be obvious when a scheme is submitted. Desirable features may not be safe, technically feasible, compliant with regulations (including Building Regulations), may not be durable, or insurable, not prove to be 'future proof' and may require timely maintenance. Readers should appreciate that a scheme designed today may not allow for extreme weather, such as prolonged rain, snow, frost and humidity, high winds or elevated summertime temperatures, nor a changing climate.

Prior to considering any building alterations, competent advice should be taken with respect to health and safety, compliance with all regulatory and planning authority requirements, and also the requirements of insurers and in some circumstances, fire and rescue services. To reduce the risk of disputes, affected neighbours should be consulted, along with the possibility that neighbours could change or alter adjoining properties. The principles and practices proposed should not be limited in viewpoint to current occupants but be forward-looking towards the forthcoming decades and generations.

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# Background

Decarbonise Letchworth is an independent working group of Letchworth residents which continues to promote the Housing and Transport ideas developed by Transition Town Letchworth between 2008 to 2023. The group seeks to represent early-adopters and Decarbonise Letchworth held publicly accessible open meetings for this project to modernise the Design Principles, which began in Autumn 2024.

Letchworth Garden City Heritage Foundation's Design Principles are guidance documents for any alterations to the appearance of homes under the town's Scheme of Management. Some residents have found the Design Principles very restrictive, although others support the idea of strict controls to preserve Letchworth's building stock without significant alterations.

Recent opportunities at workshops for consultation about on the Design Principles suggest the Heritage Foundation is aware of the concerns among early adopters on energy efficiency. However, Decarbonise Letchworth felt that the format of the workshops was not effective for capturing ideas for modernising the Design Principles.

Decarbonise Letchworth also felt that for as long as the Design Principles remain largely driven by building preservation, the rate of progress would not be fast enough to support the UKs and the devolved government Net Zero policies and address residents' concerns about energy security, climate and energy costs.

Decarbonise Letchworth therefore decided to produce an exemplar alternative document showing how the Design Principles could be developed, incorporating some relaxations of restrictions so as to facilitate energy efficiency retrofits. Decarbonise Letchworth's ideas could be adopted by both of Letchworth's planning authorities, thus simplifying two different layers of conservation requirements.

The objectives of the project were:

- To modernise the existing Design Principles to mitigate the changing climate, improve health and comfort, and mitigate rising energy prices and the cost of living, thus “...**for the benefit of the local community**” carry on “*promoting the preservation of buildings and other environmental features of beauty or historic interest within Letchworth Garden City*”.
- To offer alternative guidance where there is evidence that the existing Design Principles discourage alterations that could for “*the benefit of the local community*” carry on “*promoting the relief of poverty and sickness within Letchworth Garden City*”.
- To support the long-term preservation and viability of Letchworth's building stock.
- To show how the requirements of the Design Principles could be aligned with the North Hertfordshire Council (NHC) defined conservation areas.
- To propose merging Modern Areas, Heritage Areas and Homes of Special Interest requirements into one core set of requirements for all homes, moderated by the context of each home's setting (including whether it is located in a NHC Conservation Area) and its individual architectural features.
- To bring consistency in how the requirements for different property improvements are set out, to clarify some areas, and to remove redundant statements or definitions.
- To share collected ideas with the community to encourage debate, then with Letchworth Garden City Heritage Foundation to assist in development of the next version of the Design Principles.

# Letchworth's Character

**Letchworth Garden City's pioneers aimed to relieve poverty, unsanitary and crowded living conditions, by aiming for self-sufficiency and good quality housing. Letchworth's unique place in architectural and urban history stemmed from the combination of rural appearance with an urban concentration, brought about by the work of the original architects of the Garden City.**

One key principle for the Garden City was to ensure homes had enough associated garden space to reinforce the rural appearance and to promote self-sufficiency in food and exercise for healthy living. Today, many streets reflect this balance. Mature trees and hedges along roads and in gardens and parks contribute significantly to the green and natural character of the Garden City.

The original Cottage Exhibition properties, built when Letchworth Garden City was founded, displayed innovative and diverse housing designs. Experimental diversity in building design along streets makes a significant contribution to the historical identity of the town.

Early Garden City homes were generally designed in the Arts and Crafts style. Most prominent in buildings from 1903 up to the 1920s, this style (or mode of craft-work) was still evident into the 1930s. These homes ranged in size from modest small cottages to large semi-detached and detached houses. They all shared the concept of detailed and varied design, standing in well-proportioned gardens, with large gaps between buildings to provide a feeling of *openness* and views into the green gardens behind. Homes, from the 1920s to the late 1940s, were varied in style, but still reflected the concept of the earlier period.

Homes built after the 1940s were largely built to reflect the modern design concepts of the time but guided by the Garden City ethos, with trees and gardens still an important element of the design. Homes ranged in size from small, terraced houses to larger semi-detached and detached buildings as well as flats. Many of these homes retain the open characteristic of the Early Garden City including sweeping access roads and cul-de-sacs around common open spaces.

Original designs for homes in Letchworth Garden City rarely included garages. Later homes were designed with some off-street parking, although this is often less than needed today. Accommodating car ownership while preserving the valuable asset of green street scenes, including front gardens, hedges and trees is a challenge in some of the earliest housing developments.

**A small range of building materials were promoted by the original developers of Letchworth.** Some materials, such as pale yellow bricks, were specifically excluded. The selected materials have become a distinctive trait of the Garden City and are one of the factors that create cohesion and character in neighbourhoods and buildings.

The craftsmanship and materials from Letchworth's early period are apparent in the detailing of buildings, for example string courses, window head and sill detailing, corncicing and decorative plaques. Windows and door styles contributed significantly to the identity and value of individual houses and groups of houses and the street scene. Soil and vent pipes, guttering, and rainwater downpipes in colours that contrast with the body of the house were another feature of the original garden city.

**Roofs are a notable feature of Letchworth.** Many of the roofs display a rich variety of techniques which continue to enhance the quality of the local built environment with the roof line characteristically punctuated by original chimneys designed to complement the houses. Original roof details that are part of Letchworth's heritage include:

- gables with tiled undercloak;
- wooden bargeboards;
- deep, open eaves where feet of the rafters are visible and support guttering brackets;
- short rafters fixed near the bottom of the roof (sprockets), softening the angle;
- well bedded bonnet tiles on hipped roofs (rather than bulky half round ridge tiles);
- valley junctions utilising valley tiles (rather than constructing a valley gutter).

# Energy, Economy and Environment

The changing climate and resource limitations have brought new challenges for the preservation of Letchworth's building stock, also features of natural beauty, and this is one of the Foundation's objects. More recently, the Foundation's 2028 Strategy promotes leading and championing the sustainable conservation of Letchworth's architectural heritage. However, another Foundation object is the relief of poverty.



The summer of 2022, with temperatures reaching 40.2°C, illustrated the variability in the UK's climate and its changing nature. The prospect is for more summer heatwaves and wetter autumns due to climate change. Overheating in homes, and local flooding which can be related to drought conditions, have become major issues. The 2014 Good Homes Alliance report on overheating, showed that dwellings of all ages and conditions could suffer from overheating, where indoor temperatures exceed 28°C for a noticeable part of the year. Apart from discomfort and sleep disturbance, overheating can have significant health impacts.

However, our built environment is also directly responsible for 25% of the UK's total greenhouse gas emissions and its indirect impacts are even larger. Renovating existing buildings, called retrofitting, is central the UK's ambition of achieving net zero carbon emissions by 2050. Most of the UK's existing buildings are going to need retrofitting. To achieve the Net Zero target, retrofits will need to be done at a much faster rate than is currently underway.

Therefore, some of the benefits of energy efficiency retrofits to homes include:

- Reduced carbon emissions
- Reduced energy consumption
- Improved Energy Performance Certificate rating for the home
- Reduced energy poverty and future proofing via retrofit-to-keep homes
- Improved indoor air quality if well executed
- Improved winter and summer thermal comfort
- Reduced living costs by investing in renewable energy systems, such as solar panels
- Local jobs, careers and businesses engaged in energy efficiency retrofits
- Promotion of new construction sector skills in the locality
- At scale, improved national energy security and the economic benefits of reduced energy imports.

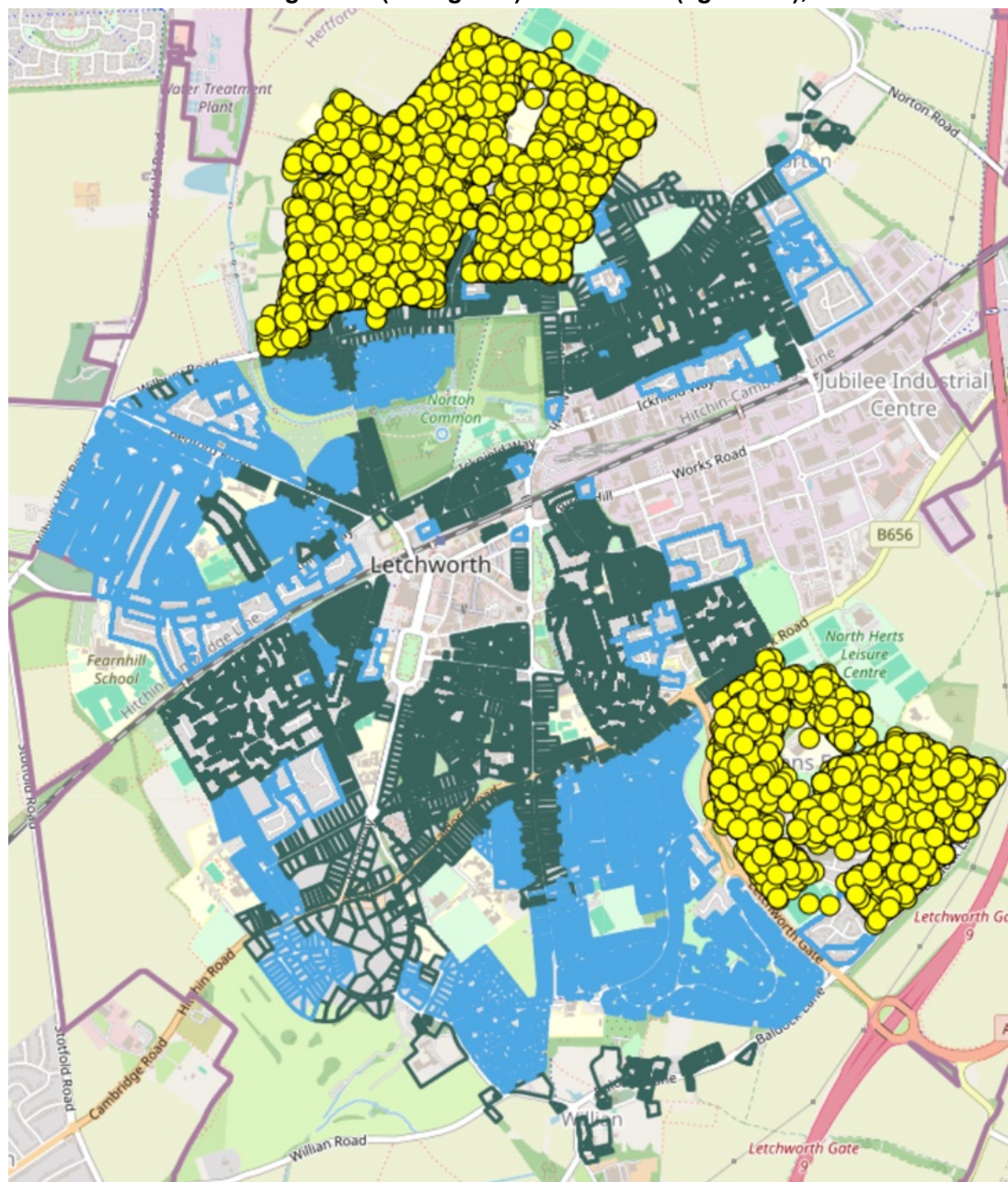
At large scale, retrofitting thousands of homes can therefore alleviate many societal challenges and is aligned with the Foundation's objects of preserving the built environment and relieving poverty.

# Conservation and Character Areas

## Letchworth's Character Areas

The Foundation operates two Character Areas (there had been three), a heritage area and a modern area. Over time an increasing number of homes have been moved into the Heritage Character Area so residents have to check their address to determine which Design Principle document is relevant to their property.

**Homes covered by Letchworth Scheme of Management by Character Area:  
Heritage Area (dark green) and Modern (light blue),**



## Letchworth's Conservation Areas

Conservation areas are 'areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance'. Conservation areas guidance is clear that these areas should remain alive and prosperous whilst ensuring that the quality of the environment and individual buildings is not sacrificed for short-term gains. The expectation is that change is managed in these areas, not prevented.

North Herts Council (NHC) has identified two Conservation Areas in Letchworth Garden City, the largest covers the central area of the town, whilst the other focuses specifically on Croft Lane and Cashio Lane.

Willian and Norton villages, which fall under Letchworth scheme of management also have Conservation Areas. NHC published proposals identify what it is about the character and appearance of the Letchworth Conservation areas which should be preserved or enhanced.

Within a conservation area the usual planning requirements apply but the council can introduce further restrictions designed to aid in the preservation or enhancement of the character or appearance of the area.

**Overview of Conservation Areas in Letchworth Garden City Estate (Conservation Areas are bordered by blue line - see NHC website for detailed maps), Background map provided by Openstreetmap**



*Given the level of overlap between the NHC conservation areas and the Scheme of Management Heritage Character Area, it would seem sensible for the Heritage Area to be superseded by adopting the NHC conservation areas in its place.*

On examination, given there are relatively few differences between the Design Principles' requirements of the Modern Character and Heritage Character Areas, it would be sensible to revert to having a single set of design guidance, which can, where necessary, provide additional detail on design features expected in conservation areas.

# Listed and Locally Listed Building and Homes of Special Interest

Letchworth has 433 homes which are listed buildings and 39 which are locally listed buildings, many of these are located within conservation areas. For listed buildings planning permission is required to make any external (and in some case internal) alterations. For locally listed buildings and homes within the conservation areas planning permission may still be required for external changes that would be allowed under permitted development rights outside of a conservation area. This enables the council to identify and preserve external building features when assessing planning applications for particular properties.

The Heritage Area Design Principles list nearly 1700 homes as being of Special Interest. The majority of these are located within NHC conservation areas. The Design Principles have little specific guidance for Homes of Special Interest with applications routinely processed using the standard Design Principles criteria. Concerns regarding the relatively recent addition of Homes of Special Interest to the Design Principles include:

- |                    |                                                                                                                                                                                                                                                                                                                                 |
|--------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| It is arbitrary:   | <p>The list is based on one person's view.</p> <p>There are examples of two homes built to a similar design, where one will be designated a Home of Special Interest whilst the other will not.</p>                                                                                                                             |
| Lacks due process: | Homeowners have had their homes designated a 'Home of Special Interest', subsequent to purchase, with no rationale given and no right to appeal.                                                                                                                                                                                |
| Are an overreach:  | <p>The Scheme of Management allows for the management of a 'conservation area' by a non-public body. Homes of Special Interest goes beyond this and is verging on a listed building process.</p> <p>The number of homes included (11% of town), and at least 16% of those covered by the Scheme of management is excessive.</p> |

**Given heritage protection exists for many Letchworth homes through being listed, locally listed or in a conservation area and the Design Principles require that the most sensitive features of appearance are consistent with the original building, it would be sensible to drop the Homes of Special Interest and where necessary, provide additional detail on design features expected of listed or locally listed buildings.**

## Aligning Planning Authorities Guidance

If the Heritage Foundation Design Principles utilise the NHC conservation areas and listed and locally listed buildings processes and drop their 'Character areas' and 'Homes of Special Interest' Letchworth could revert to a single set of design guidance which could be adopted by both planning authorities for Letchworth Garden City, NHC and Letchworth Heritage Foundation. An example of these design principles is provided from page 10 onwards.

# Relevance of the Scheme of Management

Letchworth Garden City has a Scheme of Management which covers most homes - freehold and leasehold. The Scheme of Management states:

*“...Any owner shall not carry out any development redevelopment or alteration materially affecting external appearance of the enfranchised property or of any building or structure thereon save with the written consent of the Corporation (**which shall not be unreasonably withheld**) and in accordance with plans drawings and specifications previously submitted to and approved by the Corporation. Any such development redevelopment or alteration shall be made in accordance with the approved plans drawings and specifications and shall be carried out in a good substantial and workmanlike manner with sound and proper materials”*

## The Need for the Foundation's Approval

Management of this scheme currently resides with Letchworth Garden City Heritage Foundation. Written approval must be obtained (which may be in addition to local authority planning consent) before any changes are made which materially affect a building's external appearance.

- Infringements that are not approved and unacceptable may lead the Foundation to insist on rectification, possibly removing the alteration and going back to the original. Unapproved changes could also appear in conveyancing searches when selling a property and may influence prospective buyers.
- Major existing or potential infringements will be dealt with by the Heritage Foundation's Appeals procedure. This can involve a number of levels of appeal. If the appeal process is unsuccessful and the work not rectified or is wrongly undertaken, the Heritage Foundation may take legal action. This could be expensive. Because the threat of legal action involves an uncertain level of financial risk, selling the property could be problematic.

## Proposed Definition of “Good, Substantial and Workmanlike Manner”

Decarbonise Letchworth suggests that this should mean that the construction and finishing should be functional, sturdy, effective, resistant to weather and durable. Also, that works should be executed with reasonable skill to deliver satisfying appearance, but in most cases it should not require exceptional skills or craftsmanship expected of a niche or bygone profession.

## Proposed Definition of “Sound and Proper Materials”

Decarbonise Letchworth suggests that this should mean materials which are well-suited to the situation, which are not damaging and meet current industry standards, which are installed in full accordance with the manufacturer guidance. Matching materials, where suitable, will almost always meet such a requirement, but the group suggests that materials need only be reasonable selections and do not need to represent best practice to be “proper”.

# ALTERNATIVE DESIGN PRINCIPLES

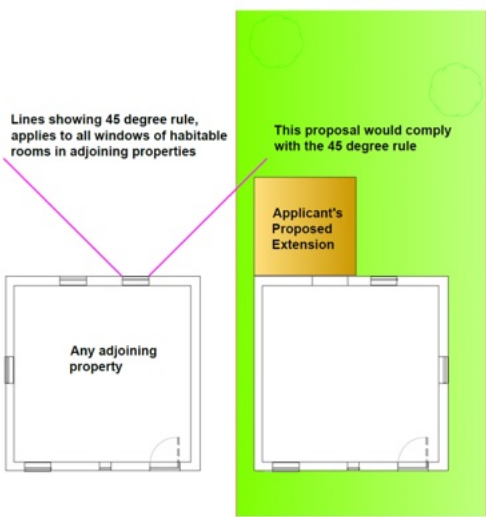
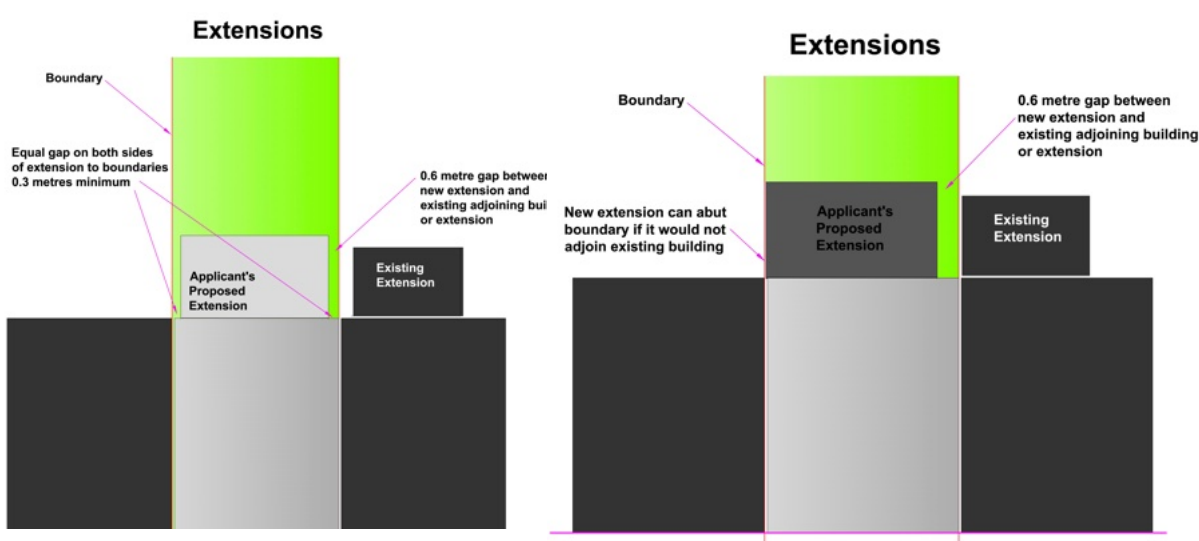
AS PROPOSED BY DECARBONISE LETCHWORTH

## 1. Rear and Side Extensions

The spacing between individual houses or terraces and the views to the green gardens behind them reinforce the connection between the town and country. The width of side extensions can impact on the original character of the home and the street scene – particularly the vistas between these homes - and sufficient distance needs to be kept between neighbouring homes to help retain the character and the open feel.

|     |                                                                                                                                                                                                                                                                                                                                                                             |
|-----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.1 | Rear and side extensions should reflect the character of the original house and its setting with the design exhibiting balanced proportions and scale and complementing detailing, materials and finishes.                                                                                                                                                                  |
| 1.2 | Proposed roof pitches and design of the roof and roof line shall be consistent with the original roof design of the house, unless it can be demonstrated that the extension does not damage the character and quality of the existing property and street scene.                                                                                                            |
| 1.3 | The floor area and volume of the proposed extension plus any existing extensions shall be less than the original house's floor area and volume.                                                                                                                                                                                                                             |
| 1.4 | First floor extensions smaller than the footprint of the ground floor, can create a poorly proportioned and unbalanced building and will only be accepted if it can be demonstrated that it would not be detrimental to the character and appearance of the existing property and street scene.                                                                             |
| 1.5 | An extension to a property through the addition of a storey above a garage will only be accepted where it is demonstrated that it will not harm the character of the existing property and street scene and will not have an unacceptable impact on neighbouring occupiers.                                                                                                 |
| 1.6 | Ground floor extensions should retain a one metre gap to the boundary. Exceptions may be made where the neighbouring property provides a two-metre gap that has no potential to be eroded by an extension of the neighbouring property.                                                                                                                                     |
| 1.7 | To maintain the open feel and space around detached and semi-detached dwellings, the side walls of proposed two storey and first floor side extensions should be a minimum of two metres from a boundary. Exceptions may be made where the neighbouring property provides a four-metre gap that has no potential to be eroded by an extension of the neighbouring property. |
| 1.8 | For rear extensions an appropriate rear garden area shall be retained, which should be at least 50% of the original rear garden area (disregarding outbuildings), to ensure adequate private amenity provision and prevent a cramped or over-developed appearance.                                                                                                          |
| 1.9 | Extensions shall not lead to an unacceptable loss of amenity to neighbouring occupiers. Windows in the side elevation of extensions that permit loss of privacy to adjacent occupiers should be avoided.                                                                                                                                                                    |

## DL ALTERNATIVE DESIGN PRINCIPLES

|      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.10 | <p>Applicants should carefully consider the impact of an extension on the daylight received by any windows or glazed doors in a neighbouring property. A proposed extension should not significantly reduce existing daylighting for a neighbouring property. Height is a significant factor. Overlooking may also be considered. Reference will be made to the established 45 degree rule. Some aspects of this rule are shown on the drawings, but each proposal will be considered case-by-case.</p> | <p style="text-align: center;"><b>Extensions and the 45 degree rule</b></p>  |
| 1.11 | <p>To prevent unsightly dark narrow gaps between buildings, which can create a poor appearance, side walls of rear extensions shall either abut the boundary or provide an appropriate maintenance gap between buildings and rear extensions (a minimum of 0.6m). This does not override the requirement to comply with other legislation, such as the Party Wall Act.</p>                                                                                                                              | <p style="text-align: center;"><b>Extensions</b></p>                        |

### Rear and Side Extensions: Detached Dwellings

|      |                                                                                                                                                                                                                                                                                  |
|------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.12 | <p>Ground floor and two storey extensions up to a depth of five metres from the original rear wall of the house may be acceptable. When two storey extensions would have an impact on neighbouring properties, a reduction in depth and/or width may be required.</p>            |
| 1.13 | <p>Extensions to houses on very large plots may exceed five metres from the original rear wall of the house, if it can be demonstrated that there is negligible effect on neighbouring properties and it is not detrimental to the character of the property or its setting.</p> |

### Rear and Side Extensions: Semi-Detached Dwellings

|      |                                                                                                                         |
|------|-------------------------------------------------------------------------------------------------------------------------|
| 1.14 | <p>Ground floor extensions up to a depth of five metres from the original rear wall of the house may be acceptable.</p> |
|------|-------------------------------------------------------------------------------------------------------------------------|

## DL ALTERNATIVE DESIGN PRINCIPLES

|      |                                                                                                                                                                                                                                                                                                  |
|------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.15 | Due to the likely impact on the neighbouring property, two storey extensions should not normally exceed a depth of 3.6 metres from the original rear wall of the house. When two storey extensions have an impact on neighbouring properties, a reduction in depth and/or width may be required. |
| 1.16 | Side extensions shall retain the identity of the original property and be visually smaller. This can be achieved by having lower roof lines and being significantly set back from the front building line.                                                                                       |

### Rear and Side Extensions: Terraced Dwellings

|      |                                                                                                                                                                                                                                                                                                                                                                 |
|------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.17 | Ground floor extensions up to a depth of 3.6 metres from the original rear wall of the house should be acceptable. A greater depth of extension will only be considered when it is demonstrated that it will not have an unacceptable impact on neighbouring properties, the remaining garden area and the appearance of the existing property and its context. |
| 1.18 | Due to the likely impact on the neighbouring property, two storey extensions should not normally exceed a depth of 3.6 metres from the original rear wall of the house. When two storey extensions have an impact on neighbouring properties, a reduction in depth and/or width may be required.                                                                |
| 1.19 | Side extensions will not normally be permitted on end of terrace properties unless it can be demonstrated that it will not damage the group value of the existing terrace and its overall surroundings.                                                                                                                                                         |

### Extensions: Conservatories

Conservatories are predominantly glazed structures and the roof must be glazed to be considered a conservatory.

|      |                                                                          |
|------|--------------------------------------------------------------------------|
| 1.20 | Conservatories shall not exceed the dimensions specified for extensions. |
| 1.21 | Lines and finish should complement the character of the house.           |

## 2. Front Extensions

The 'group value' of a run or cluster of houses is important. Adding elements to facades can have a serious impact on the original character of the house and the street scene, this is particularly the case with first floor extensions.

|     |                                                                                                                                                                                                                                                                    |
|-----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 2.1 | Any front extension should reflect the character of the original house and its setting with the design exhibiting balanced proportions and scale and complementing detailing, materials and finishes.                                                              |
| 2.2 | Proposed roof pitches and design of the roof and roof line shall be consistent with the original roof design of the house.                                                                                                                                         |
| 2.3 | The extension should not create an unsightly or unduly prominent form of development. The front elevation area of the proposed extension shall be smaller than the host building front elevation area.                                                             |
| 2.4 | The extension shall not disrupt the uniformity of the front building line.                                                                                                                                                                                         |
| 2.5 | Front extensions will not normally be acceptable if the existing frontage is less than five metres deep.                                                                                                                                                           |
| 2.6 | Semi-detached and terraced dwellings extension designs shall respect the balance and symmetry of a pair or group of houses. The first home in the pair or group will set the precedent for the design of any extensions for subsequent homes in the pair or group. |

### 3. Porches

A porch is a small extension immediately adjoining the main (typically front) entrance door. If a design includes any accommodation, such as a WC or cloakroom, it will be considered as an extension, not a porch.

Removal of original features such as recessed 'loggia' porches, open porches, canopies or tiled hoods can damage the original character of the property and shall only be supported if it can be demonstrated that the entrance is not a prominent feature in relation to the original design, or that a new proposed entrance area shall provide a character complementary to the locality.

|     |                                                                                                                                                                                                                                                                                                               |
|-----|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 3.1 | Front porches are acceptable when they already exist as an accepted feature within the context and will not break up the symmetry of, or unbalance, a group of properties.                                                                                                                                    |
| 3.2 | Porches shall not normally extend more than 1.5 metres from the original front main building line.                                                                                                                                                                                                            |
| 3.3 | In some instances, such as on large houses with frontages over 6 metres deep, a deeper front porch may be acceptable, where it is demonstrated that this will not harm the character of the existing property or in the case of terraced and semi-detached houses, the group of properties.                   |
| 3.4 | Porches should reflect the character of the original house and its setting with the design exhibiting balanced proportions and scale and complementing detailing, materials and finishes.                                                                                                                     |
| 3.5 | Roof pitches should be consistent with the original roof design of the house.                                                                                                                                                                                                                                 |
| 3.6 | Where the porch abuts the boundary, the roof or gutters shall not overhang the boundary.                                                                                                                                                                                                                      |
| 3.7 | For a porch on the side elevation the relationship to the side boundary shall be considered. An enclosed porch shall normally maintain a gap to the boundary of at least one metre unless it can be demonstrated that the proposal will not lead to a cramped form of development or a 'terraced' impression. |

### 4. Balconies

Balconies will usually only be accepted where this feature is found on the property or within its context and it will not damage the character and quality of the existing building or its setting.

|     |                                                                                                                                                                                                                                   |
|-----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 4.1 | The design should reflect the size and design of the host building.                                                                                                                                                               |
| 4.2 | Balconies at a first-floor level or higher up a building are not acceptable on the side or front elevation unless this is an existing feature of the property. Balconies should generally be located at the rear of the building. |
| 4.3 | 'Juliet' balconies are generally acceptable.                                                                                                                                                                                      |
| 4.4 | New balconies shall not result in a loss of privacy for neighbouring occupiers.                                                                                                                                                   |

## 5. Garage conversions

Consent is required to change a garage into habitable rooms when:

- the conversion would impact on the external style and appearance of the property.
- it will necessitate additional hardstanding for car parking on a front garden.

|     |                                                                                                                                                                                                                                               |
|-----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 5.1 | The property's frontage must have capacity for at least two car parking spaces (standard size 2.4m x 4.8m), whilst remaining compliant with other Design Principles requirements for hard-standing, for a garage conversion to be acceptable. |
| 5.2 | Retention of the garage doors or provision of fixed replicas, may be required, if the garage has adjacent or group amenity value.                                                                                                             |
| 5.3 | Any new windows to provide light and ventilation to the converted garage shall comply with the requirements for windows.                                                                                                                      |
| 5.4 | Proposals to link a detached garage to the main house will only be supported when it is demonstrated that it will not detract from original views into rear gardens or disrupt the original design of the property.                           |

## 6. Roofs - New, Alterations, Re-tiling and Repairs

|     |                                                                                                                                                                                                                                                         |
|-----|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 6.1 | The massing, style and the relative height and proportions of the roof to the rest of the structure shall not be altered. An exception is where a thickness of insulation needs to be introduced above sloping ceilings.                                |
| 6.2 | Loft conversions should not alter the ridge height. An exception is where a thickness of insulation needs to be introduced above sloping ceilings.                                                                                                      |
| 6.3 | Roof alterations shall reflect the original roof design and specifications, unless there is a sound technical case for improving weather resistance and / or resolving defects in the original design.                                                  |
| 6.4 | Materials and colours used for roof works (including changes to bargeboards, fascias and boarding) should normally complement the original style of the house.                                                                                          |
| 6.5 | Replacement roof and wall tiles shall complement the original tile colour, dimensions, material and texture.                                                                                                                                            |
| 6.6 | New and replacement conservatory roofs shall normally be glazed. However, roof skins specifically designed to reduce solar gains and alleviate summertime overheating issues may also be acceptable.                                                    |
| 6.7 | If a conservatory is converted into an extension the roof should normally match the style and pitch of the existing house, although a lead or imitation lead treatment may be acceptable, where it respects the profiling of the existing conservatory. |
| 6.8 | Simple removal and refitting of existing roof tiles (for example to access sarking or the structure, with minimal new tiles) does not require an application for consent unless the appearance of the roof is otherwise altered.                        |

## 7. Chimneys and Flues

|                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                          |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 7.1                                                                                                                                                                                                                                                                                                      | Unless there are exceptional circumstances, existing chimney stacks or pots should not be removed in the conservation area.                                                                                                                                                                                                                                                                              |
| 7.2                                                                                                                                                                                                                                                                                                      | Shortening of chimney stacks shall be avoided.                                                                                                                                                                                                                                                                                                                                                           |
| 7.3                                                                                                                                                                                                                                                                                                      | New or replacement pots or flue terminals should be of a design that complements the style of the existing house.                                                                                                                                                                                                                                                                                        |
| 7.4                                                                                                                                                                                                                                                                                                      | Any new, replacement, prefabricated, or refurbished chimneys shall reflect the detailing, style and position of chimneys on the original house and street scene.                                                                                                                                                                                                                                         |
| 7.5                                                                                                                                                                                                                                                                                                      | Visible metal flues for wood burning stoves may be acceptable if: <ul style="list-style-type: none"> <li>• sited in an unobtrusive position so they do not impose on the street scene.</li> <li>• they are no more than one metre high above the roof finish, and no more than 0.6 metre above the roof ridge line.</li> <li>• their colour is closely aligned to the colour of the building.</li> </ul> |
| Evidence that any new flue or stack conforms with Building Regulations may be requested.<br>You are advised to contact North Hertfordshire District Council to ensure that the new flue and chimney will not be harmful to you or your neighbours and complies with all statutory building requirements. |                                                                                                                                                                                                                                                                                                                                                                                                          |

## 8. Solar Panels

Solar photovoltaic panels (generating electricity) and solar thermal panels (that heat water) allow residents to reduce their use of fossil fuels, reduce energy costs, and can help mitigate Climate Change.

|     |                                                                                                                                                                                                                                                                                                                                                                                                       |
|-----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 8.1 | Solar PV and Solar Thermal Panels are acceptable on all elevations. Where alternative solar panel installation options exist that have similar predicted energy generation, the preferred installation option shall be that which has the least impact on the character of the house and on the street scene. Hence solar panels on roof slopes which are not part of the street scene are preferred. |
| 8.2 | All panels should be aligned in the same orientation. Scattered or incoherent designs on a roof elevation are not acceptable.                                                                                                                                                                                                                                                                         |
| 8.3 | On front elevations in the conservation area either: <ul style="list-style-type: none"> <li>• The design shall be symmetrical about a horizontal or vertical axis, or</li> <li>• The design shall consist of roof integrated solar panel solution (where panels are level with the roof tiles), or</li> <li>• The design shall consist of solar tiles.</li> </ul>                                     |
| 8.4 | Black solar panel frames are preferred on front elevations.                                                                                                                                                                                                                                                                                                                                           |
| 8.5 | Wall mounted panels are not acceptable on elevations which are visible from the street.                                                                                                                                                                                                                                                                                                               |
| 8.6 | Solar PV and thermal panels shall be at least 0.3 metres from the edge of the roof plane and 0.3 metres from the ridge.                                                                                                                                                                                                                                                                               |
| 8.7 | When a solar thermal panel is mounted on the front roof it should be aligned neatly with any other solar panels.                                                                                                                                                                                                                                                                                      |
| 8.8 | Solar PV and solar thermal panels may be placed on the roofs of garages, sheds or outbuildings. A free-standing array can be mounted in a rear garden.                                                                                                                                                                                                                                                |
| 8.9 | Metal reflectors or reflective paint behind solar thermal vacuum tubes are not acceptable.                                                                                                                                                                                                                                                                                                            |

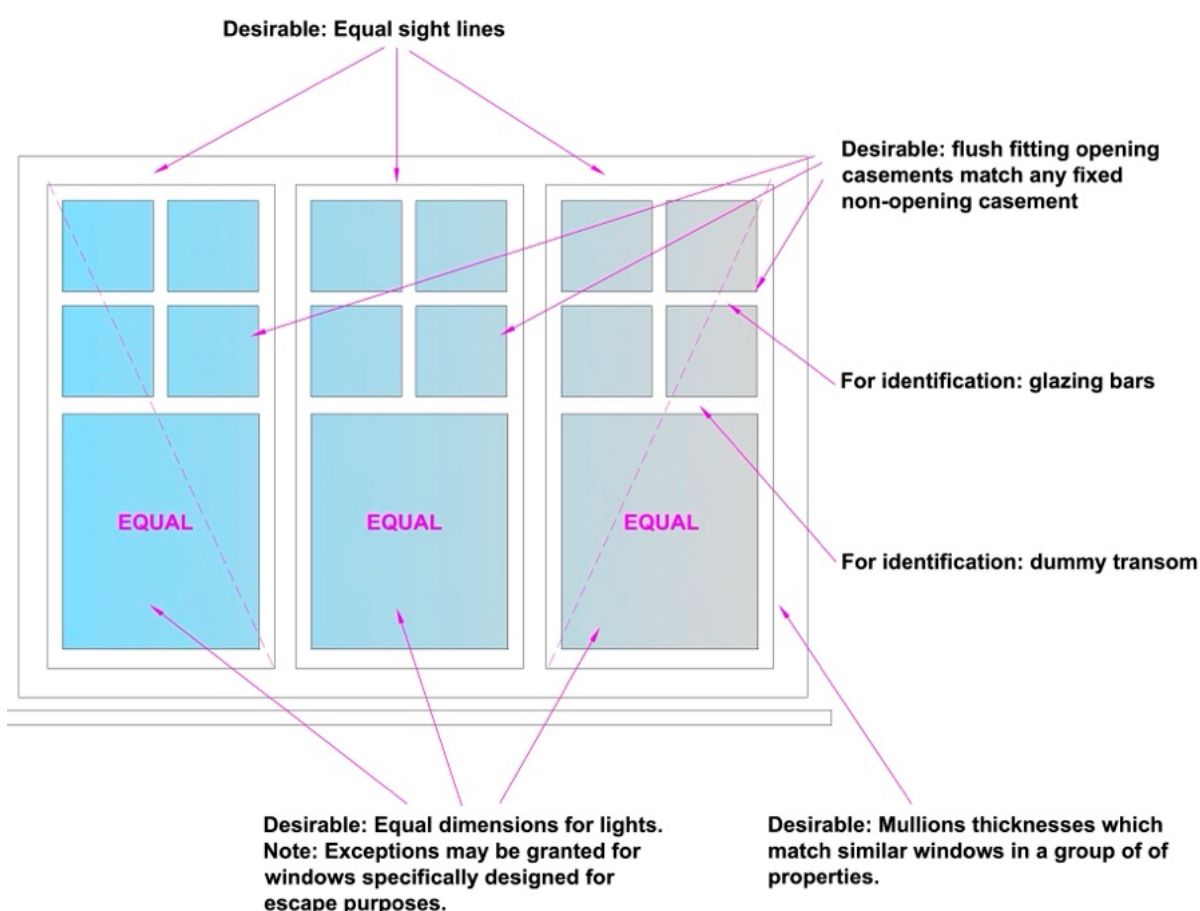
## 9. Dormers, roof windows, roof lights & sun tunnels

|      |                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9.1  | Dormers, roof windows and roof lights, including those for sun tunnels, should normally be on the rear elevation but might be permitted on the front or side elevations if they are consistent with the original dwelling and street scene.                                                                                                                                                                                                 |
| 9.2  | Dormers shall reflect the style and appearance of the house and its context.                                                                                                                                                                                                                                                                                                                                                                |
| 9.3  | Dormers shall be modest in relation to the area and slope of the roof plane and their scale shall not dominate or upset the balance of any building elevations or the street scene. The dormer window size shall be equal to or smaller than windows on floors below the dormer window.                                                                                                                                                     |
| 9.4  | Dormer windows shall be consistent with the proportions and general style of other windows in nearby walls, although a case may be made for deviating for escape windows.                                                                                                                                                                                                                                                                   |
| 9.5  | Materials for dormer windows should preferably match the original construction materials of the house, but other materials may be acceptable if in keeping with the style of the property.                                                                                                                                                                                                                                                  |
| 9.6  | Roof lights and roof windows, including those for sun tunnels, should normally be low profile, recessed, 'conservation' type in the conservation area.                                                                                                                                                                                                                                                                                      |
| 9.7  | The frame colours of roof lights (which includes roof lanterns) and roof windows, including those for sun tunnels, shall normally be consistent with the roof covering or have a black finish.                                                                                                                                                                                                                                              |
| 9.8  | The height and volume of roof lanterns, for example on extensions, shall be consistent with the original massing and building height. Roof lanterns shall not exceed 20% of the roof plane area.                                                                                                                                                                                                                                            |
| 9.9  | Visible domes for sun tunnels should be sited in an unobtrusive position so they do not impose on the street scene.                                                                                                                                                                                                                                                                                                                         |
| 9.10 | Where more than one dormer window, roof light or roof window, including those for sun tunnels, is proposed these shall be laid out in an orderly pattern and where possible have similar sizes.                                                                                                                                                                                                                                             |
| 9.11 | <p>The total area of multiple roof windows should normally not exceed 20% of the roof plane area.</p> <div data-bbox="774 1164 1404 1747"> <p style="text-align: center;"><b>Roof Windows</b></p> <p style="text-align: center;">Total roof window area is less than 20% of the roof plane area. There is also an orderly pattern, although this is not always feasible. Any solar panels on the roof are considered separately.</p> </div> |

## 10. External Doors and Windows

|      |                                                                                                                                                                                                                                                                                                                                                        |
|------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 10.1 | Positioning, orientation, type and size of new openings shall be coherent with the original design of the property.                                                                                                                                                                                                                                    |
| 10.2 | New window and door openings on the front elevation are only acceptable where it is demonstrated that this will not have a damaging impact on the existing property or street scene.                                                                                                                                                                   |
| 10.3 | New and replacement doors should reflect the character of the house and the street scene and should normally complement the proportions and style of the original door. It is normally acceptable for French windows and bi-fold doors to be open glazed.                                                                                              |
| 10.4 | New and replacement windows should reflect the character of the house and the street scene and should normally complement the original windows in style, design, component sections and proportions. The style and design of a window may deviate from the original style of the house if this is required to fulfil the function of an escape window. |
| 10.5 | Glazing bars or leading on windows should be replicated where this was an original feature of the property. Internal glazing bars and leading are acceptable but external glazing bars or external leading are preferred where these were original features in the conservation areas.                                                                 |
| 10.6 | Equal sight lines on windows should be replicated where this was an original feature of the property.                                                                                                                                                                                                                                                  |
| 10.7 | New and replacement French windows (doors) shall have a casement width that is in-keeping with the original windows; overly wide casement widths are not usually acceptable.                                                                                                                                                                           |

### Windows - Preferred Features



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| 10.8 | Where flats or houses have been designed to be considered as one identity, replacement windows shall match the originals and include glazing bars and/or equal sight lines, where these were original features. |
|------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

## DL ALTERNATIVE DESIGN PRINCIPLES

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| 10.9  | Features surrounding doors, such as frames, sidelights, canopies, hoods, exposed lintels, along with door formats, such as single or double leaf opening, shall be replaced or modified in line with the original design in the conservation areas.                                                                                                                                                                                                                                                                                                                                                          |
| 10.10 | Materials matching the original door (e.g. timber) are preferred. Composite and uPVC doors will be accepted where they complement the proportions and style of the original door.                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 10.11 | Aluminium window frames may be acceptable where the original windows were steel, if the sections of the window components are very similar to the original design.                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 10.12 | Obvious mix of window materials in a single elevation are unlikely to be supported.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 10.13 | External doors shall be finished in a solid colour or single shade of varnish which shall relate to the character of the original property or street scene in the conservation areas.                                                                                                                                                                                                                                                                                                                                                                                                                        |
| 10.14 | Changing the single colour of a front, side or garage door does not normally require an application for consent, unless other changes are incorporated.                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| 10.15 | The colour of all window frames and casements shall match the originals or, if the original colour cannot be identified, they shall relate to the character of the original property or street scene.                                                                                                                                                                                                                                                                                                                                                                                                        |
| 10.16 | Stained or coloured glass in doors may be acceptable if in keeping with the style and character of the original house design or street scene.                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| 10.17 | Solar reflective films and glazing help restrain summertime temperatures. Prominent, highly reflective glazing in windows is not usually acceptable but may be permitted on elevations where it will not be detrimental to the street scene.                                                                                                                                                                                                                                                                                                                                                                 |
| 10.18 | Folding, side-mounted window shutters, solar control louvres, extendable awnings, wall overhangs, and 'shed roofs' (small roofs above a window built out from a wall) which help restrain summertime temperatures by reducing solar gains on south-facing elevations are acceptable on rear and side elevations when they: <ul style="list-style-type: none"> <li>• Are not visible in the street scene in the conservation areas.</li> <li>• Do not project more than one metre from the wall.</li> <li>• Are sympathetic in their style, colour, dimensions and materials to the host building.</li> </ul> |
| 10.19 | Roller shutters would require consent.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| 10.20 | Removal and blocking up of existing doors and windows must use complementing materials and will only be supported where it does not damage the character of the host building or street scene.                                                                                                                                                                                                                                                                                                                                                                                                               |

## 11. External Walls

|      |                                                                                                                                                                                                                                   |
|------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 11.1 | Bricks, joints and mortar of new brickwork shall match the original brickwork as closely as possible. In some circumstances the same brickwork bond will need to be replicated in new works to result in a consistent appearance. |
| 11.2 | External painting of properties that have previously not been painted, such as brickwork or pebble dash exteriors, will be supported if it will not damage the character of the property or the street scene.                     |
| 11.3 | Painted render shall normally be repainted in the original colour. If the original colour cannot be identified, a colour shall be used that maintains cohesion within groups of buildings and the street scene.                   |

Early garden city houses with open fires had high numbers of air changes per hour due to the open chimneys. This natural ventilation reduced with the introduction of central heating and humidity levels increased. Higher humidity increases the risk of mould, particularly in solid wall houses during colder months. The addition of well-executed wall insulation, following competent advice, can reduce the risk of mould and health issues. It can also improve comfort and reduce energy costs and CO2 emissions from home heating.

## DL ALTERNATIVE DESIGN PRINCIPLES

External insulation has benefits over internal insulation by using the thermal mass of the walls to restrain summertime temperatures. External insulation solutions, if well-executed and weather-tight, present a lower risk to building structures than internal insulation and are usually less disruptive to the householder.

- Internal insulation reduces room sizes and often necessitates altering features like doors and even staircases.
- Internal insulation can cause the wall temperature to be low enough to cross the "dew point" which can result in condensation damaging the building fabric. Condensation is not only a health problem, it also promotes mould and decay around wooden elements such as joists, floorboards, and rafters. Internal insulation must therefore be airtight and resist moisture getting into the wall construction.

|       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|-------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 11.4  | Where a house is semi-detached or terraced, the external insulation solution agreed for the first house in the group sets the general style and standard for the others in any discernible group of houses, where these have similar appearance. Setting a general style does not include having to use the same materials, the same contractors or the same manufacturers. Pairs of terraced rows, multiple pairs of semis or similar detached houses do not form common 'groups'. |
| 11.5  | The external insulation solution should reflect the character of the original house and its setting with the design complementing detailing, materials and finishes but not necessarily identical features.                                                                                                                                                                                                                                                                         |
| 11.6  | External insulation should follow the contours of the original walls above the Damp Proof Course (DPC). A step change in the wall depth is acceptable along the line of the DPC. Where a property is semi-detached or a terrace the front elevation external wall insulation should match the depth of the external wall insulation of other insulated properties in the 'group'.                                                                                                   |
| 11.7  | In the conservation area properties with a dash render, render or roughcast finish should be insulated and finished in a similar finish as the original house. Roughcast on original Letchworth houses was particularly deep, deeper than can be applied on external wall insulation. Roughcast external wall insulation solutions should match that of the original roughcast if this depth was less than 1.5mm and should be at least 1.5mm otherwise.                            |
| 11.8  | In the conservation areas properties with brick, tile or stone facades must retain at least 50% of a brick, tile or stone facade respectively on the front elevation (using brick, tile or stone slips). The remainder of the property can be externally insulated and finished with a roughcast, render or dash-render solution.                                                                                                                                                   |
| 11.9  | Replication of architectural features on the front elevation is preferred. However, where replication of a feature is challenging, e.g. due to cost, the weight of the material, or leads to significant thermal bridging, an alternative design should be provided for the front elevation which provides an equivalent level of garden city character as existed on the original property.                                                                                        |
| 11.10 | On the front and rear elevations existing gable roofs should protect and cover, or be extended in matching materials to protect and cover, the external wall insulation.                                                                                                                                                                                                                                                                                                            |
| 11.11 | On gable side elevations weather proofing which extends below the lower edge of the barge boards or the roof tiling may be acceptable where the side elevations have minimal impact on the street scene.                                                                                                                                                                                                                                                                            |
| 11.12 | Roof eaves depth of at least 50% of the pre-insulation eaves depth must be retained.                                                                                                                                                                                                                                                                                                                                                                                                |
| 11.13 | Increased depth of external door and window reveals, due to the addition of external insulation, is acceptable. These deeper reveals should be finished in a style compatible with the period of the original house or match the external wall insulation facade. Window sills should be extended or replaced where this is necessary to cover the external insulation.                                                                                                             |
| 11.14 | A tidy, coherent solution is required for external fixtures, including porch supports, meter cupboards and charging points, pipes, ducts, flues and services rising from the ground. Excepting service boxes, these shall be moved out an appropriate distance so no new wall contours result from the introduction of external insulation.                                                                                                                                         |

## 12. Guttering, Pipes and Water Butts

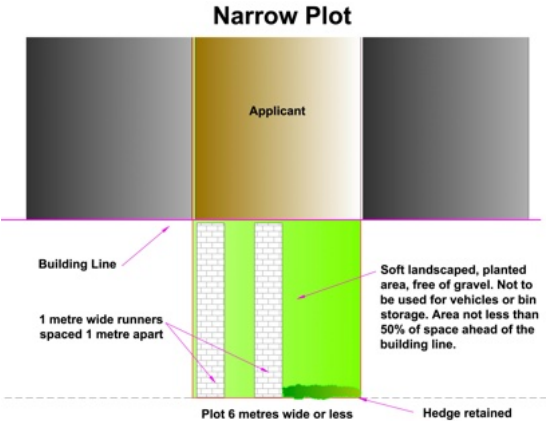
|      |                                                                                                                                                                                                    |
|------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 12.1 | Replacement guttering, soil, vent and down pipes should be in the original colour and position.                                                                                                    |
| 12.2 | On frontages, new soil stacks and downpipes should be avoided wherever possible, especially in the central areas of front elevations.                                                              |
| 12.3 | Provided that waste and rainwater disposal is separate, original hopper heads should be retained where possible in the conservation areas.                                                         |
| 12.4 | Rainwater goods simulating cast iron in uPVC material will be accepted, but cast iron rainwater goods are preferred in the conservation area where these were an original feature of the property. |
| 12.5 | Bright-finished rainwater systems will only be accepted where these are consistent with a modern property.                                                                                         |
| 12.6 | Rainwater butts were an original Garden City theme and will normally be acceptable, but their style, size, position and colour should be unobtrusive when located on the frontage.                 |

## 13. Hardstanding and Vehicular Gates

Retention of a minimum of 50% soft planted landscaping in front gardens helps to maintain the green character of the Garden City. Open natural surfaces such as lawns provide amenity during hotter summers, since they can reduce temperature rise compared to hard surfaces. Landscaping also allows for natural water absorption through the soil, helping alleviating surface water run-off and stress on drainage systems.

|      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
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| 13.1 | <p>When creating hardstanding on front gardens at least 50% of the original frontage area should normally be maintained as soft landscaping, for example, it shall be free of car parking, footpaths and bases for bin storage. For houses with frontages on more than one street, at least 50% of the original frontage on each street should normally be maintained as soft landscaping.</p> <div data-bbox="186 1225 1428 1693"> <p><b>Wide Plot</b></p> <p>Applicant's Property</p> <p>Building Line</p> <p>50%</p> <p>50%</p> <p>Soft landscaped, planted area, free of gravel. Not to be used for vehicles or bin storage. Area not less than 50% of space ahead of the building line.</p> <p>Plot exceeding 6 metres wide</p> <p>Hedge retained</p> <p><b>Dual Aspect Plot</b></p> <p>Hardstanding 1 <math>\leq 50\%</math></p> <p>Building Line</p> <p>Applicant</p> <p>Landscaping 1 <math>\geq 50\%</math></p> <p>Soft landscaping, planted area, free of gravel. Not to be used for vehicles or bin storage. Area of each landscaping aspect not less than 50% of the space ahead of the building line.</p> <p>Hedge retained</p> <p>Notional division of frontage of plot with dual access to streets</p> <p>Landscaping 2 <math>\geq 50\%</math></p> <p>Hardstanding 2 <math>\leq 50\%</math></p> </div> |
| 13.2 | For frontages exceeding 100 square metres, the hardstanding area shall be no greater than 50 square metres.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |

## DL ALTERNATIVE DESIGN PRINCIPLES

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| 13.3                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <p>For smaller plots (less than six metres wide) the 50% restriction may not prove possible. Runners may be an acceptable option when:</p> <ul style="list-style-type: none"> <li>• There is a depth of at least five metres between the front building line and the front boundary, which is sufficient for a standard parking space (2.4 metres x 4.8 metres).</li> <li>• Hard landscaping is limited to two one-metre wide runners separated by a one metre gap of low planting.</li> </ul> |  |
| 13.4                                                                                                                                                                                                                                                                                                                                                                                                                                                      | For those living on a main road (a road where reversing into or out of a driveway would routinely disrupt the traffic flow) a reduction below the 50% restriction of soft landscaping may be acceptable, in order to create a turning space.                                                                                                                                                                                                                                                   |                                                                                    |
| 13.5                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Although gravel is not acceptable for soft landscaped areas, it may be used for hardstanding, but shall include measures to stop it spilling onto the public realm.                                                                                                                                                                                                                                                                                                                            |                                                                                    |
| 13.6                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Mass concrete is not acceptable. In some situations, perforated concrete blocks or similar plastic cages containing grass may be acceptable.                                                                                                                                                                                                                                                                                                                                                   |                                                                                    |
| 13.7                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Paviours, stones and setts should be in a neutral colour and must not incorporate any distinct or highly contrasting patterns, motifs or symbols.                                                                                                                                                                                                                                                                                                                                              |                                                                                    |
| 13.8                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Artificial grass is not supported on property frontages.                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                    |
| 13.9                                                                                                                                                                                                                                                                                                                                                                                                                                                      | To minimise ponding and surface water run-off onto streets and adjoining properties porous materials and permeable paving are strongly encouraged as well as a soak away underneath the paved area of hardstanding.                                                                                                                                                                                                                                                                            |                                                                                    |
| <p>Note: If an extension necessitates the provision of additional hardstanding for parking it is not compulsory to build the required parking spaces at the time of the building work, but adequate provision must be explicit in the plans.</p> <p>Hertfordshire County Council approved crossover and dropped kerb is usually required. Works will not be issued with a Final (Plan) Approval until the crossover and dropped kerb are constructed.</p> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                    |

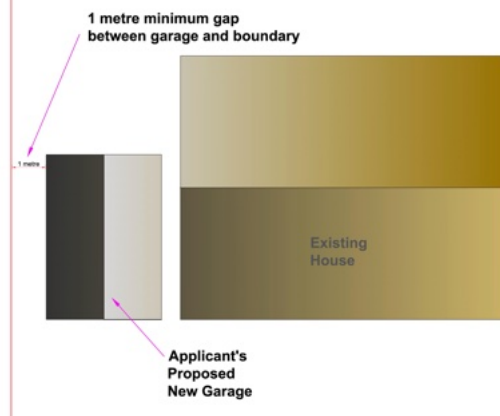
Vehicular Gates on to a street are not a common feature of Letchworth designs and the Foundation wishes to avoid the appearance of 'gated communities'. Vehicular gates are not generally appropriate but may be acceptable in some circumstances, for example, if they are located in tree lined streets with wide verges, or were part of the original concept for the area.

|       |                                                                                                                                      |
|-------|--------------------------------------------------------------------------------------------------------------------------------------|
| 13.10 | The style and character of vehicle gates should not be detrimental to, or dominate, the appearance of the house or the street scene. |
| 13.11 | Vehicle gates shall not be set forward of the stems of a boundary hedge.                                                             |
| 13.12 | Vehicle gates shall be less than 3 metres in width and 1 metre in height.                                                            |
| 13.13 | Vehicle gates shall be in an unobtrusive colour and finish.                                                                          |
| 13.14 | Vehicle gates shall not obstruct the public realm when opened.                                                                       |
| 13.15 | Vehicle gates shall be at least 6.5 metres from the front building line.                                                             |

Note: Hertfordshire Highways approvals for dropped kerbs have specific requirements related to the visibility splays and enough depth on site for a car to park. Installing gates could prevent these criteria from being met.

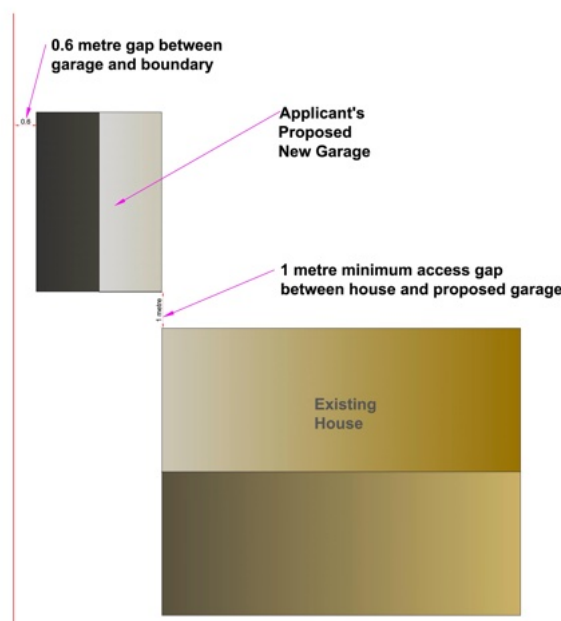
## 14. Garages & Outbuildings

|      |                                                                                                                                                                                                                                       |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 14.1 | New and extended garages shall complement the original style of the house.                                                                                                                                                            |
| 14.2 | New garages located behind the front building line of the existing house are strongly preferred and, in most cases, can assist in maintaining the green and open feel of frontages                                                    |
| 14.3 | In cases where the garage is to the front or adjacent to the property, a one metre gap should be retained to the side boundaries unless it can be demonstrated that the proposal will not lead to a cramped or 'terraced' impression. |



If the garage is proposed at the rear of the existing house it shall meet the following requirements:

|      |                                                                                                                |
|------|----------------------------------------------------------------------------------------------------------------|
| 14.4 | There shall be a one metre minimum wide access gap to the rear garden.                                         |
| 14.5 | Where the garage abuts the boundary, the roof or gutters shall not overhang the boundary.                      |
| 14.6 | Where the garage is not sited on the boundary, a gap of at least 0.6 metres shall be provided to the boundary. |
| 14.7 | The mass of the garage shall not have a significant impact on neighbouring properties including garden areas.  |
| 14.8 | The garage shall be restricted to single storey.                                                               |



Outbuildings include sheds, greenhouses, garden rooms, playrooms, climbing frames, tree-houses or ancillary accommodation.

|       |                                                                                                                                                                                                                                                                                                                                                                                                            |
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| 14.9  | Outbuildings shall be located in rear and not front gardens.                                                                                                                                                                                                                                                                                                                                               |
| 14.10 | Outbuildings shall not detract from the character and quality of the existing property or its context.                                                                                                                                                                                                                                                                                                     |
| 14.11 | An outbuilding in the rear garden up to six square metres in area and 2.2 metre ridge height will not require consent unless other outbuildings exist on the plot. Outbuildings that exceed these dimensions may be accepted if their size is not out of proportion to the house and they do not dominate the rear garden or have a significant impact on the neighbouring property, including its garden. |

## DL ALTERNATIVE DESIGN PRINCIPLES

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| 14.12                                                                                                                                                                                                                                                                                   | More than one outbuilding may be acceptable, but the cumulative area of outbuildings should not be more than 10% of the area of the rear garden, free of outbuildings, to a maximum of 20 square metres.                                                                     |
| 14.13                                                                                                                                                                                                                                                                                   | Outbuildings will not normally be acceptable if they are over three metres in height.                                                                                                                                                                                        |
| 14.14                                                                                                                                                                                                                                                                                   | Any new outbuilding shall be at least 0.6m from any boundary.                                                                                                                                                                                                                |
| 14.15                                                                                                                                                                                                                                                                                   | The use of outbuildings for any commercial activity may require a Business Licence from the Heritage Foundation and possibly planning permission from North Hertfordshire District Council.                                                                                  |
| 14.16                                                                                                                                                                                                                                                                                   | The height of platforms on children's play equipment, tree houses and other structures can cause privacy concerns for neighbours. The design must therefore give due respect to garden size, proximity to boundaries and the privacy of neighbouring properties and gardens. |
| Note: A self-contained or separate unit of accommodation may require a separate approval under the terms of your lease or Scheme of Management. The Design Principles Annex Design Guidance provides further information and advice can be obtained from the Heritage Advisory Service. |                                                                                                                                                                                                                                                                              |

## 15. Trees, Hedges, Fencing and Gates

### Trees

Preserving existing trees and hedges or replacing trees that are becoming sick or hazardous is essential to preserving Letchworth's green vistas and gardens. Apart from shading, trees and vegetation also absorb and convert solar energy. During hot summers trees are a distinct amenity, helping create cooler, shaded areas. The general aim is therefore to retain and add to Letchworth's tree stock. Consent is required for the removal of any significant trees (one which has a trunk that measures more than 75mm diameter at one metre above natural ground level) or the removal of any hedge on a frontage.

|      |                                                                                                                                                                                                                                                                                                                                                                                    |
|------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 15.1 | Existing trees should not be removed (or relocation attempted) unless there is a proven justifiable cause, and this may involve obtaining arboricultural advice. Before proposing removal of a tree, reasonable, well-informed attempts shall have been made to manage growth and disease. Request to replace fast-growing, non-native tree species will be considered favourably. |
| 15.2 | Consent for removal of a tree will normally involve its replacement.                                                                                                                                                                                                                                                                                                               |
| 15.3 | When proposing new or replacement trees or hedges, native species will be encouraged. Fast growing non-native species, such as Leylandii, are not acceptable. Trees whose final height is predicted to be greater than the distance to the closest building line will not usually be supported.                                                                                    |
| 15.4 | Applicants will need to demonstrate that risks to existing, retained trees have been considered and mitigated as part of any property alterations and this includes trees on neighbouring land.                                                                                                                                                                                    |

Note: Some tree works may require prior approval from North Hertfordshire District Council.

### Hedges

Many older homes were designed with modest front hedges or low fences, whilst later developments were designed with open frontages, all of which create an open and airy public realm with vistas through the Garden City. These features enhance the links to the rural and green surroundings and plays a part in the biodiversity of the Garden City.

|      |                                                                                                                          |
|------|--------------------------------------------------------------------------------------------------------------------------|
| 15.5 | Boundaries to the highway should complement frontage boundary treatments on the same street.                             |
| 15.6 | Established hedges or fences to highway boundaries will be resisted in streets that were planned to have open frontages. |
| 15.7 | Hedges are preferred to fences or walls.                                                                                 |

## DL ALTERNATIVE DESIGN PRINCIPLES

|       |                                                                                                                                                                                                                                                                                                                                                                                                 |
|-------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 15.8  | Frontage hedges or fences should normally have a maximum height of one metre but shall be maintained at a lesser height where this is required to ensure drivers have an unimpeded view of the public realm when entering or leaving a driveway. Hertfordshire County Council may stipulate maximum heights to protect visibility to improve the safety for public realm users.                 |
| 15.9  | Existing frontage hedges shall not be removed unless there is a proven justifiable cause and this may involve obtaining arboricultural advice. Before proposing removal of a hedge, well-informed attempts shall have been made to manage growth and disease.                                                                                                                                   |
| 15.10 | The removal of a hedge that is entirely confined to a rear garden does not require consent.                                                                                                                                                                                                                                                                                                     |
| 15.11 | Consent for removing a hedge on a frontage will normally involve replacing it with an acceptable species.                                                                                                                                                                                                                                                                                       |
| 15.12 | Native species of hedges are strongly encouraged. Privet, box and beech are the recommended varieties of hedging. Other suggested hedging plants are; berberis, hornbeam, Ionicera nitida and yew. Where a thorny hedging plant is chosen it will need to be routinely maintained to protect those on the public realm. Fast growing non-native species, such as Leylandii, are not acceptable. |
| 15.13 | Applicants will need to demonstrate that risks to existing, retained hedges have been considered and mitigated as part of any property alterations.                                                                                                                                                                                                                                             |

### Fences

|       |                                                                                                                                                                          |
|-------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 15.14 | Fences on frontages, which include fences separating neighbouring properties, shall be consistent with the predominant street scene.                                     |
| 15.15 | Sleepers, close boarded or woven type fences are not normally permissible on frontages where slatted or hit-and-miss fences are preferred.                               |
| 15.16 | Close boarded or woven type fences are acceptable, and do not require consent, on rear garden boundaries if they are under 2 metres height (on both sides of the fence). |
| 15.17 | Any new pedestrian gates on frontages require consent, and existing pedestrian gates, including side gates to rear gardens, shall normally be retained.                  |

## 16. Security Installations

Security installations (such as burglar alarm boxes and CCTV cameras) mounted on buildings do not require consent, provided the following conditions are met.

|      |                                                                                                                                                              |
|------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 16.1 | Installations should be as inconspicuous as possible.                                                                                                        |
| 16.2 | To ensure privacy of neighbours, any recording equipment should be aligned to only capture activity in the grounds of the property in which it is installed. |
| 16.3 | Installations should not lead to significant high-level floodlighting, since this can alter the street scene.                                                |
| 16.4 | There should be no more than one CCTV camera installation on the front elevation.                                                                            |
| 16.5 | Installations should only be mounted on buildings and should have unobtrusive wiring.                                                                        |

## 17. External Services Installations

|                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|----------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 17.1                                                                                                                 | Electric vehicle charging points should be discrete and where possible, on a side elevation.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 17.2                                                                                                                 | More external building services features are needed for climate mitigation compared to the early Garden City. Installation of external building services, including home batteries, outdoor heat pump units and air conditioning units, including their associated pipework, trunking and cables, should be unobtrusive. Long pipework runs on external walls should be avoided. Installation on side or rear elevations, or on outbuildings, is preferred unless there is a technical reason that these elevations are unsuitable. Screening of outdoor heat pump units and air conditioning units may be acceptable, but evidence should be sought that the unit's performance will not be compromised by the screening or create hazards. |
| 17.3                                                                                                                 | Where neighbours are likely to be impacted by noise, heat pumps and air conditioning units should be selected which have a relatively low noise specification and these units should be located behind the front building line and at least one metre from the boundary of neighbouring properties.                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 17.4                                                                                                                 | Outdoor heat pump units, air conditioning units and home batteries should normally be mounted at ground level unless there is a risk of flooding.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 17.5                                                                                                                 | Outdoor units shall not be installed on a pitched roof. Where installation is proposed on a flat roof the unit must be at least one metre from any outside edge.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| 17.6                                                                                                                 | Additional services enclosures in unobtrusive colours, provided all the dimensions are less than 0.5 metres, do not require consent.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| 17.7                                                                                                                 | Satellite dishes shall be no more than 80cm in diameter.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| 17.8                                                                                                                 | Satellite dishes shall be in a colour appropriate to the existing house and street scene.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 17.9                                                                                                                 | Satellite dishes should be in a discreet location and ideally should be on the rear of the house unless a signal cannot be received                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 17.10                                                                                                                | Each residential property shall only have one satellite dish. On apartment blocks a communal dish will be encouraged, rather than individual dishes for each flat.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 17.11                                                                                                                | Consent is not required for fitting a satellite dish if it is no greater than 60cm in diameter and on the rear of the house                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| 17.12                                                                                                                | Redundant satellite dishes shall be removed.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Note: Local authorities, house insurers and electricity suppliers may have additional requirements you need to meet. |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |

## 18. Wind Turbines

Wind turbines are generally not appropriate but will be considered in suitable locations, where there is proof of wind speeds, acceptable acoustics and negligible impact on the street scene and the host building.

Domestic wind turbines on buildings or on free standing posts range in rotor size from one metre to 11 metres in diameter. To be most effective the turbines shall be higher and clear of any obstructions less than 20 metres away.

As most houses in Letchworth Garden City are within this vicinity and their roof is at least 8 metres in height; to be efficient the turbines would have to be fixed at a considerable height (minimum 15 metres). This arrangement could have a major impact on the street scene and visual amenity of the neighbouring properties.

# Glossary

|                                |                                                                                                                                                                                                                                                                                                                                                                                                        |
|--------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Artificial Grass</b>        | Plastic matting is a surface treatment used externally to mimic grass.                                                                                                                                                                                                                                                                                                                                 |
| <b>Bargeboard</b>              | A protective and/or decorative board fixed to protruding roof timbers at the sloping edge (verge) of a pitched roof.                                                                                                                                                                                                                                                                                   |
| <b>Bi-Fold Doors</b>           | Doors with multiple leaves (casements) that open by sliding and folding.                                                                                                                                                                                                                                                                                                                               |
| <b>Bonnet Tile</b>             | An angular or 'saddle' shaped tile.                                                                                                                                                                                                                                                                                                                                                                    |
| <b>Boundary</b>                | The line that determines the limit of a property and usually delineates the separation of a property from the neighbouring property.                                                                                                                                                                                                                                                                   |
| <b>Building Line</b>           | The line defined by the main front wall of buildings.                                                                                                                                                                                                                                                                                                                                                  |
| <b>Coherent</b>                | Having similar design.                                                                                                                                                                                                                                                                                                                                                                                 |
| <b>Complement</b>              | Having a consistent look, even though for example, materials may not match.                                                                                                                                                                                                                                                                                                                            |
| <b>Composite Door</b>          | A door that is constructed of a variety of materials; the outer skin is usually moulded glass reinforced plastic (GRP) which covers timber reinforcing sections and foam insulation. They are very strong and secure. They are designed to replicate the style and proportions of timber doors, but due to the materials used they do not readily fade or discolour and require minimal maintenance.   |
| <b>Conservatory</b>            | A structure that conforms to the following: <ul style="list-style-type: none"> <li>• At least 50% of external wall area formed from translucent materials (not including walls within 1 metre of boundary)</li> <li>• At least 75% of roof area formed from translucent materials.</li> <li>• At ground level</li> <li>• Effectively thermally separated from the main part of the dwelling</li> </ul> |
| <b>Dormer (Window)</b>         | A construction with a window that projects from a sloping roof and provides additional useable space.                                                                                                                                                                                                                                                                                                  |
| <b>Dummy Transom</b>           | A glazing bar that is deeper than usual to represent a transom.                                                                                                                                                                                                                                                                                                                                        |
| <b>Eaves</b>                   | The construction at the foot of a sloping roof.                                                                                                                                                                                                                                                                                                                                                        |
| <b>Equal Sight Line</b>        | Non-opening casements or sashes installed into the fixed panes of a window to give equal or balanced glass lines.                                                                                                                                                                                                                                                                                      |
| <b>Established hedge</b>       | A hedge which has reached a height of more than one metre.                                                                                                                                                                                                                                                                                                                                             |
| <b>Excessive</b>               | Out of proportion.                                                                                                                                                                                                                                                                                                                                                                                     |
| <b>Extension</b>               | The addition of habitable space to a property after the initial construction has been completed.                                                                                                                                                                                                                                                                                                       |
| <b>External Glazing Bars</b>   | Mock glazing bars fitted to the external face of the glass in a window or door that simulate true glazing bars.                                                                                                                                                                                                                                                                                        |
| <b>External Leading</b>        | Lead strips fixed to the external face of the glass in a window or door, to simulate a leaded light.                                                                                                                                                                                                                                                                                                   |
| <b>Fanlight (in a window)</b>  | Opening upper casement of a window which hinges at the top.                                                                                                                                                                                                                                                                                                                                            |
| <b>Final (Plan) Approval</b>   | Notification after work is completed that the works align with the Initial (Plan) Approval.                                                                                                                                                                                                                                                                                                            |
| <b>Flush Casement (window)</b> | Opening casement (sash) that closes into the window frame and finishes flush with the face of the window frame.                                                                                                                                                                                                                                                                                        |
| <b>Frontage</b>                | The area of land between the front building line and the boundary to the public highway.                                                                                                                                                                                                                                                                                                               |
| <b>Gable</b>                   | A triangular shaped vertical wall of a building directly under the roof.                                                                                                                                                                                                                                                                                                                               |
| <b>Garage conversion</b>       | Converting a garage linked to a house into a habitable room.                                                                                                                                                                                                                                                                                                                                           |
| <b>Glazed</b>                  | Transparent building material.                                                                                                                                                                                                                                                                                                                                                                         |
| <b>Glazing Bars</b>            | Small bars forming the framework that support smaller multiple glass panes within a window casement or glazed section of a door.                                                                                                                                                                                                                                                                       |
| <b>Habitable Room</b>          | Bedrooms, lounges, dining rooms, studies and other reception rooms in a house.                                                                                                                                                                                                                                                                                                                         |
| <b>Half Round Ridge Tiles</b>  | A semi-circular roof tile used to finish the ridge.                                                                                                                                                                                                                                                                                                                                                    |

## DL ALTERNATIVE DESIGN PRINCIPLES

|                                         |                                                                                                                                                                                                                                                                                                                                   |
|-----------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Hardstanding or Hard Landscaping</b> | A ground area finished in concrete, stone, bricks, blocks, tarmac or gravel.                                                                                                                                                                                                                                                      |
| <b>Hipped Roof</b>                      | A roof where all of its sides are sloping i.e. with no gable end.                                                                                                                                                                                                                                                                 |
| <b>Hip</b>                              | The external angle formed by the meeting of two sloping sides of a roof.                                                                                                                                                                                                                                                          |
| <b>Hopper Head</b>                      | An open topped receptacle connected to the top of a rainwater down pipe, which receives rainwater from a roof situated behind a parapet wall.                                                                                                                                                                                     |
| <b>Inappropriate</b>                    | Not complementary.                                                                                                                                                                                                                                                                                                                |
| <b>Internal/Mock Glazing Bars</b>       | Decorative strips fixed between the double-glazing panes, to represent glazing bars.                                                                                                                                                                                                                                              |
| <b>Internal Leading</b>                 | Decorative strips fixed to an internal face between the double-glazing panes, to represent a leaded light.                                                                                                                                                                                                                        |
| <b>Leaded Lights</b>                    | Glazing made up of small panes of glass joined together by lead beading traditionally known as 'lead comes'                                                                                                                                                                                                                       |
| <b>Lead Lined Valley (Gutter)</b>       | The roof tiles are cut back at an angle to form the channel, which is lined with lead to form a gutter.                                                                                                                                                                                                                           |
| <b>Light</b>                            | A glazed section of a window.                                                                                                                                                                                                                                                                                                     |
| <b>Lintel</b>                           | The structural element supporting the masonry above a door or window opening.                                                                                                                                                                                                                                                     |
| <b>Mullion</b>                          | A vertical frame element that divides the window into individual casements.                                                                                                                                                                                                                                                       |
| <b>Normally</b>                         | Unless special circumstances apply.                                                                                                                                                                                                                                                                                               |
| <b>Open Eaves</b>                       | Where the feet of the rafters are left exposed, with no fascia or soffit boards.                                                                                                                                                                                                                                                  |
| <b>Original</b>                         | The design of the property when it was first built.                                                                                                                                                                                                                                                                               |
| <b>Paviour</b>                          | A small brick sized block or slab for surfacing hardstanding's etc.                                                                                                                                                                                                                                                               |
| <b>Parged Verge</b>                     | Top of a gable wall sealed with mortar at its junction with the roof finish overhang, when there is no bargeboard.                                                                                                                                                                                                                |
| <b>Photovoltaic (PV) Panel</b>          | A panel (made up of many PV/Solar cells), usually fixed to a roof slope, that creates electricity from sunlight.                                                                                                                                                                                                                  |
| <b>Picket / Palisade Fence</b>          | A traditional low (1-metre-high maximum) timber fence using vertical panes (boards) with gaps between each pale.                                                                                                                                                                                                                  |
| <b>Possible</b>                         | Practicable.                                                                                                                                                                                                                                                                                                                      |
| <b>Preferred</b>                        | Encouraged; more likely to be approved.                                                                                                                                                                                                                                                                                           |
| <b>Proportionate</b>                    | Of similar dimensions.                                                                                                                                                                                                                                                                                                            |
| <b>Quality</b>                          | Durability, fitness for purpose, robust, well-designed.                                                                                                                                                                                                                                                                           |
| <b>Retrospective Application</b>        | An application after completion of works.                                                                                                                                                                                                                                                                                         |
| <b>Roof Lantern</b>                     | A type of roof light, that is a glass structure that extends up from a flat roof to allow natural light into a room below.                                                                                                                                                                                                        |
| <b>Roof Lights</b>                      | A glazed unit that is typically installed on a flat roof which is not hinged and cannot be opened, but can provide natural light and ventilation. A conservation type roof light is recessed into the plane of the roof tiles and therefore not significantly proud of the roof finish. Usually with a black or dark grey finish. |
| <b>Roof Windows</b>                     | A window in the roof which is installed at the same sloping plane as the roof, in orientation with it, at a minimum 15 degree pitch. Roof windows can enhance daylighting and natural ventilation.                                                                                                                                |
| <b>Sett</b>                             | A rectangular or square small module paving stone.                                                                                                                                                                                                                                                                                |
| <b>Shall</b>                            | A requirement with no exceptions.                                                                                                                                                                                                                                                                                                 |
| <b>Should</b>                           | A requirement that needs to be complied with unless an exception applies.                                                                                                                                                                                                                                                         |
| <b>Soft Landscaping</b>                 | Areas of planting e.g. flower beds, borders and lawns. <b>Raised beds</b> must not exceed 0.6m in height.                                                                                                                                                                                                                         |
| <b>Solar Thermal Panel</b>              | A panel usually fixed to a roof slope that warms water using the heat of the sun.                                                                                                                                                                                                                                                 |
| <b>Sprocket (Roof)</b>                  | A wedge-shaped piece of wood fixed to the foot of each rafter, to create a shallower pitch at the lower part of the roof.                                                                                                                                                                                                         |

## DL ALTERNATIVE DESIGN PRINCIPLES

|                                                      |                                                                                                                                                                                                                                                                      |
|------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Storm, Storm-proof or Lipped Window Casements</b> | An opening casement (sash) that overlaps the face of the window frame when closed.                                                                                                                                                                                   |
| <b>Street Scene</b>                                  | The area visible between a house, terrace or block and the public pavement, public road or access road. In some situations, the frontage can extend past a house and reach garages, garden fences or another building because that area is part of the street scene. |
| <b>Sun Tunnels</b>                                   | Sun tunnels use adaptable ducts to direct natural light from a small roof window or dome top into areas deep within a building. Dome tops are usually more effective as they allow more light to be captured.                                                        |
| <b>Swept Valley (Gutter)</b>                         | Formed by special tapered tiles.                                                                                                                                                                                                                                     |
| <b>Transom</b>                                       | A frame element that divides a window horizontally, usually under a fanlight casement.                                                                                                                                                                               |
| <b>Under Cloak</b>                                   | The support (tiles or building board) for the mortar sealing on a parged verge.                                                                                                                                                                                      |
| <b>Unreasonable (legal)</b>                          | Clearly inappropriate, excessive or harmful. Lacking justification. Inconsiderate of others needs.                                                                                                                                                                   |
| <b>Unsightly</b>                                     | Ugly; out of keeping; untidy; lacks coherence or consistency with adjoining features.                                                                                                                                                                                |
| <b>Valley (Gutter)</b>                               | Horizontal or sloping channel, at the internal intersection between two roof slopes.                                                                                                                                                                                 |
| <b>Verge</b>                                         | The junction where the roof finish overhangs the gable wall.                                                                                                                                                                                                         |
| <b>Window Casement or Sash</b>                       | Usually the opening part of the window, but can be fixed as a 'dummy' casement or sash, to create equal sight lines.                                                                                                                                                 |